

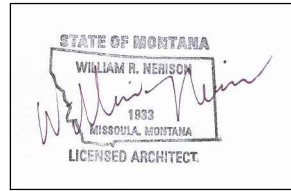


# FWP Region 2 Headquarters Lab / IT Remodel Project

FWP Project #16-14

WRN Architects

Architecture : Planning : Consulting



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lab building remodel for :  
**Region 2 Headquarters Complex**  
**Montana Fish Wildlife and Parks**  
Missoula, Montana

59804

Consultants

Structural :

Mechanical :

Electrical :

Plumbing :

Date : 05 - 16 - 2016

Project Number : 016-006

Drawn By : Wm. R. N.

Checked By : Wm. R. N.

Revisions :

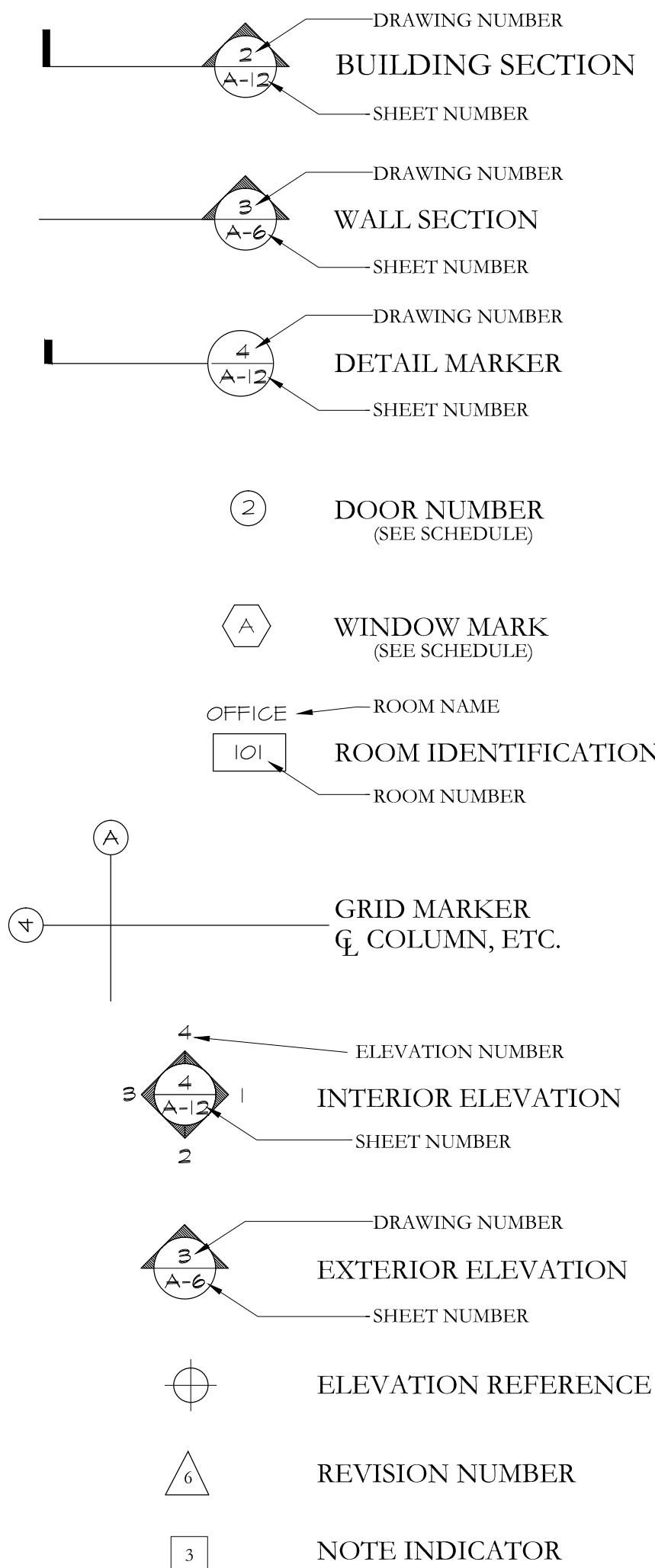
COVER SHEET  
PROJECT INFO.  
INDEX OF DRAWINGS

A - 1  
of  
6

## ABBREVIATIONS

A.	Area	Galv.	Galvanized	Quant.	Quantity
A.B.	Anchor Bolt	Ga.	Gauge	Q.T.	Quarry Tile
A.C.T.	Acoustical Ceiling Tile	G.D.	Garbage Disposal	Rad.	Radius
Add'l.	Additional	Gl.	Glass/Glazing	Ref.	Reference
A.F.F.	Above Finished Floor	G.L.B.	Glue Laminated Beam	Refer.	Refrigerator
Alt.	Alternate	Gr.	Grade	Rein.	Reinforcing
Alum./Al.	Aluminum	G.F.I.	Ground Fault Insulated	Reqd.	Required
		G.W.B.	Gypsum Wall Board	Rev.	Revision
		Gyp.	Gypsum	R.	Riser
B.B.	Base Board	H.R.	Handrail	R.&S.	Roof & Shelf
Bld'g	Building	Hdw.	Hardware	R.D.	Roof Drain
Blk'g	Blocking	Hdr.	Header	Rm.	Room
Bm.	Beam	H.V.A.C.	Heating Ventilation and Air Conditioning	R.O.	Rough Opening
Bot.	Bottom	Ht.	Height	R.F.	Rubber Flooring
Bwn	Between	H.C.	Hollow Core	Ref.	Reference
		H.M.	Hollow Metal	Req'd	Required
		Horiz.	Horizontal	R.H.	Robe Hook
		H.W.	Hot Water	R.I.	Rigid Insulation
				Rm.	Room
Cab.	Cabinet	I.B.C.	International Building Code	Sec.	Section
CI	Cast Iron	I.D.	Inside Diameter	Sht.	Sheet
Clg.	Ceiling	Insul.	Insulation	S.V.	Sheet Vinyl
C.H.	Ceiling Height	Int.	Interior	Sim.	Similar
C.J.	Construction Joint	Jnt.	Joint	S.D.	Smoke Detector
C.B.	Corner Bead	Jst.	Joist	S.C.	Solid Core
C.G.	Corner Guard			Spec.	Specification
C.L.	Center Line			Sq.	Square
C.L.	Clear			S.F.	Square Foot/Feet
C.M.U.	Concrete Masonry Unit			S.S.	Stainless Steel
Col.	Column			Std.	Standard
Conc.	Concrete			Stl.	Steel
Config.	Configuration			St.	Stain
Conn.	Connection			Susp.	Suspended
Constr.	Construction			Sym.	Symmetrical
Cont.	Continuous				
C.O.	Convenience Outlet or Clean Out				
Cpt.	Carpet				
Dbt.	Double				
Dt.	Detail				
Dia.	Diameter				
Dim.	Dimension				
D.W.	Dish Washer				
Div.	Division				
Dr.	Door				
Dn.	Down				
D.F.	Down				
D.	Drinking Fountain				
Dwg.	Drawing				
Ea.	Each				
E.I.F.S.	Exterior Insulation Finish System				
Elec.	Electric/Electrical				
Elev.	Elevation				
E.J.	Expansion Joint				
Eq.	Equal				
Exist.	Existing				
Ext.	Exterior				
E.F.	Exhaust Fan				
F.O.S.	Face Of Stud				
F.R.P.	Fiberglass Reinforced Panel				
Fin.	Finish				
F.F.	Finished Floor				
F.E.	Fire Extinguisher				
F.E.C.	Fire Exting. Cabinet				
Flr.	Floor				
F.D.	Floor Drain				
FT.	Foot/Feet				
Fig.	Footing				
Fdn.	Foundation				
F.P.H.B.	Frost Proof Hose Bib				
Furn.	Furnace				
F&I	Furnish(ed) & Install				

## SYMBOLS



## INDEX OF DRAWINGS

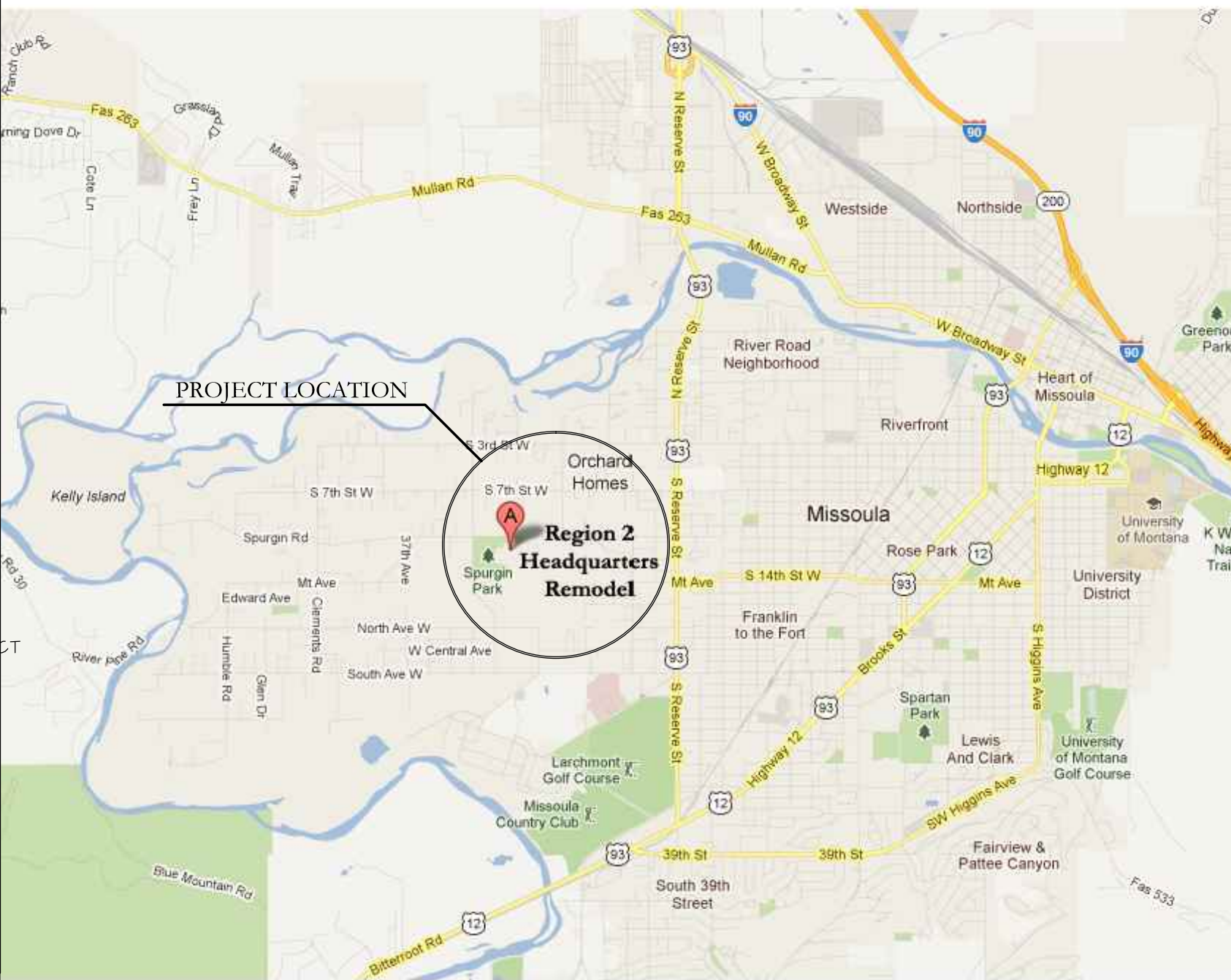
- A-1: COVER SHEET / CODE AND PROJECT INFORMATION
- A-2: EXISTING BUILDING FLOOR PLAN / REVISED BUILDING FLOOR PLAN
- A-3: REVISED FLOOR PLAN / FOUNDATION PLAN / SCHEDULES
- A-4: REFLECTED CEILING PLAN / SCHEDULES / EXT. ELEVATIONS
- A-5: BUILDING SECTIONS / WALL SECTION / FOUNDATION DETAIL
- A-6: DOOR AND WINDOW DETAILS / LAB COUNTER ELEVATION

## CONTRACTORS NOTE

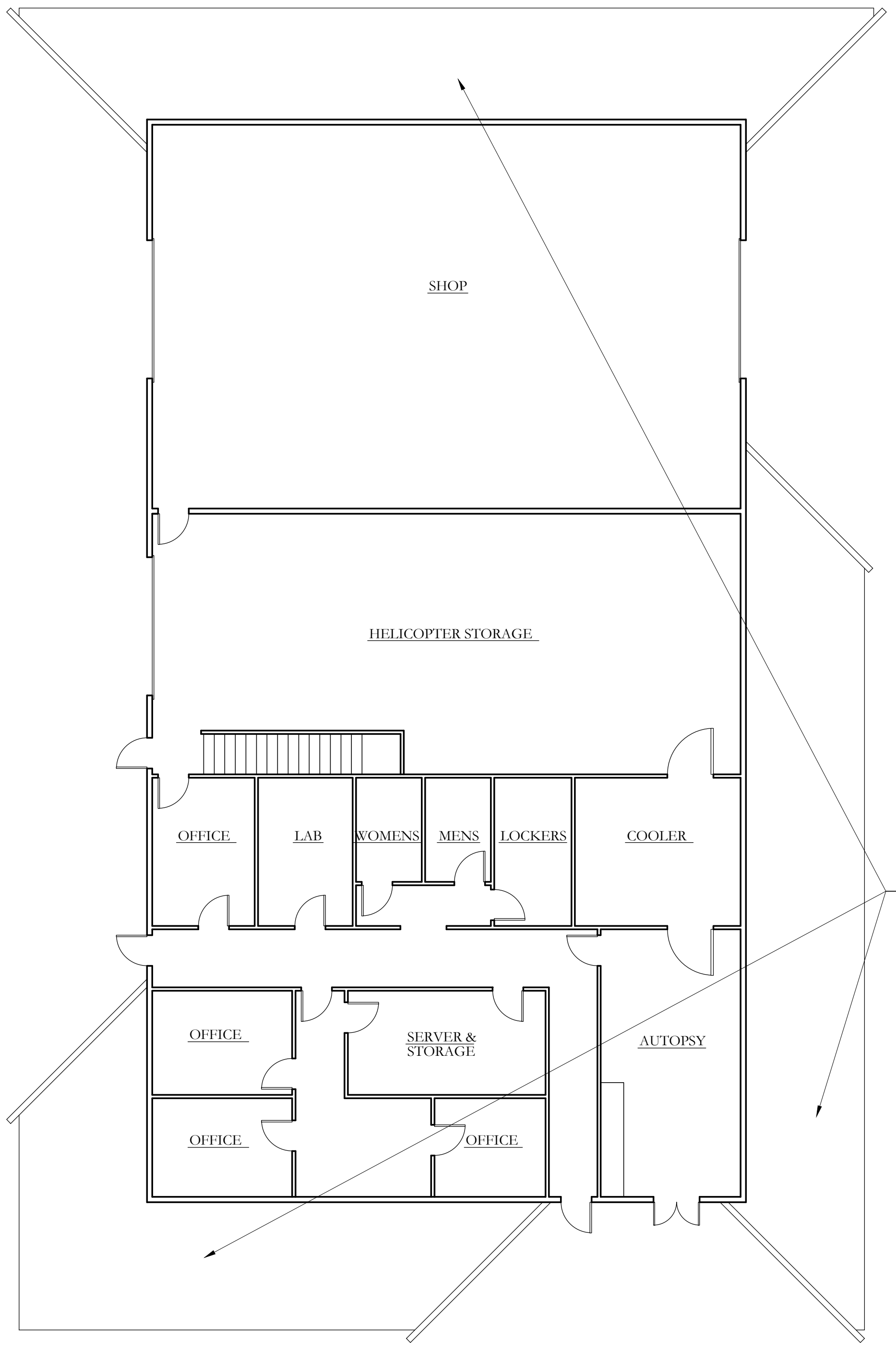
THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE ACQUISITION OF ALL PERMITS REQUIRED TO EXECUTE THE WORK SHOWN IN THESE DOCUMENTS. THE WORK INCLUDES BUT IS NOT LIMITED TO BUILDING ELECTRICAL, PLUMBING AND MECHANICAL WORK. THE GENERAL CONTRACTOR SHALL EXAMINE THE AREAS INDICATED FOR ACCEPTANCE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE START OF CONSTRUCTION SHALL INDICATE THE CONTRACTORS ACCEPTANCE OF THE SPACE FOR CONSTRUCTION.

## PROJECT DATA

YEAR OF CONSTRUCTION : 1980  
# OF STORIES : 2  
BUILDING AREA : 6,864 S.F. TOTAL  
AREA PROPOSED FOR RENOVATION : 474 S.F.  
PRIOR USE : MATERIALS LIBRARY  
PROPOSED USE : OFFICE  
OCCUPANCY GROUP(S) : B (OFFICE)  
TYPE OF CONSTRUCTION : V - ONE HOUR  
OCCUPANT LOAD : 474/100 = 10  
1 - PER 2009 I.B.C., TABLE 1021.2  
< 24 OCC. AND < 75' TRAVEL DIST.  
EXEMPT, NO UNIQUE SERVICES PROVIDED  
EXISTING, NO INCREASED USE PROPOSED  
ACCESSIBILITY :  
PARKING :  
SEISMIC ZONE :  
WIND :  
EXPOSURE :  
FLOOR LOAD - DEAD LOAD :  
FLOOR LOAD - LIVE LOAD :  
ROOF LOAD - LIVE LOAD :  
SOIL BEARING CAPACITY :  
NOT APPLICABLE FOR THIS PROJECT



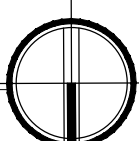




EXISTING RAISED PLANTERS  
AND FOUNDATION WALLS

1 EXISTING BUILDING / FLOOR PLAN  
A-2 SCALE: 1/8" = 1'-0"

NORTH



HVAC/MECHANICAL SYSTEM LOCATED  
AT MEZZANINE ABOVE OFFICE SPACE  
ACCESS VIA STAIRWAY INDICATED

TRUNK LINE FOR EXIST. UNDER-SLAB  
HEATING/COOLING SYSTEM TO REMAIN

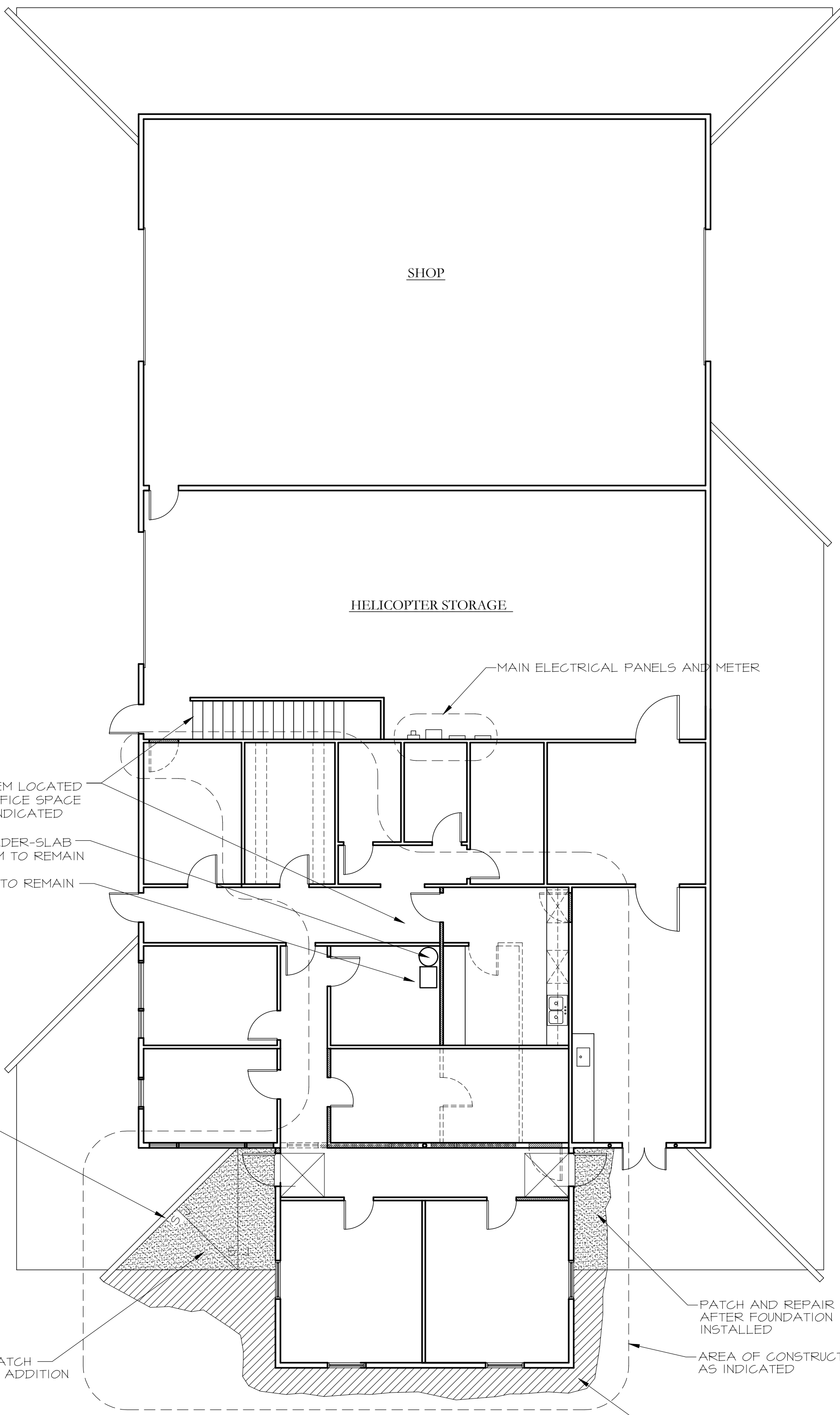
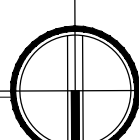
MAIN COMPUTER SERVER TO REMAIN

NEW CONC. RETAINING WALL.  
SLAUGE ROCK VENEER FOR  
RE-USE IF POSSIBLE

NEW CONC. APRON TO MATCH —  
THAT AT OTHER SIDE OF ADDITION

2 REVISED BUILDING / FLOOR PLAN  
A-2 SCALE: 1/8" = 1'-0"

NORTH



PATCH AND REPAIR CONC. APRON  
AFTER FOUNDATION INSULATION IS  
INSTALLED

AREA OF CONSTRUCTION  
AS INDICATED

SAWCUT EXISTING ASPHALT TO ALLOW CLEAN  
PATCH AND REPAIR, SLOPE AWAY FROM FND.



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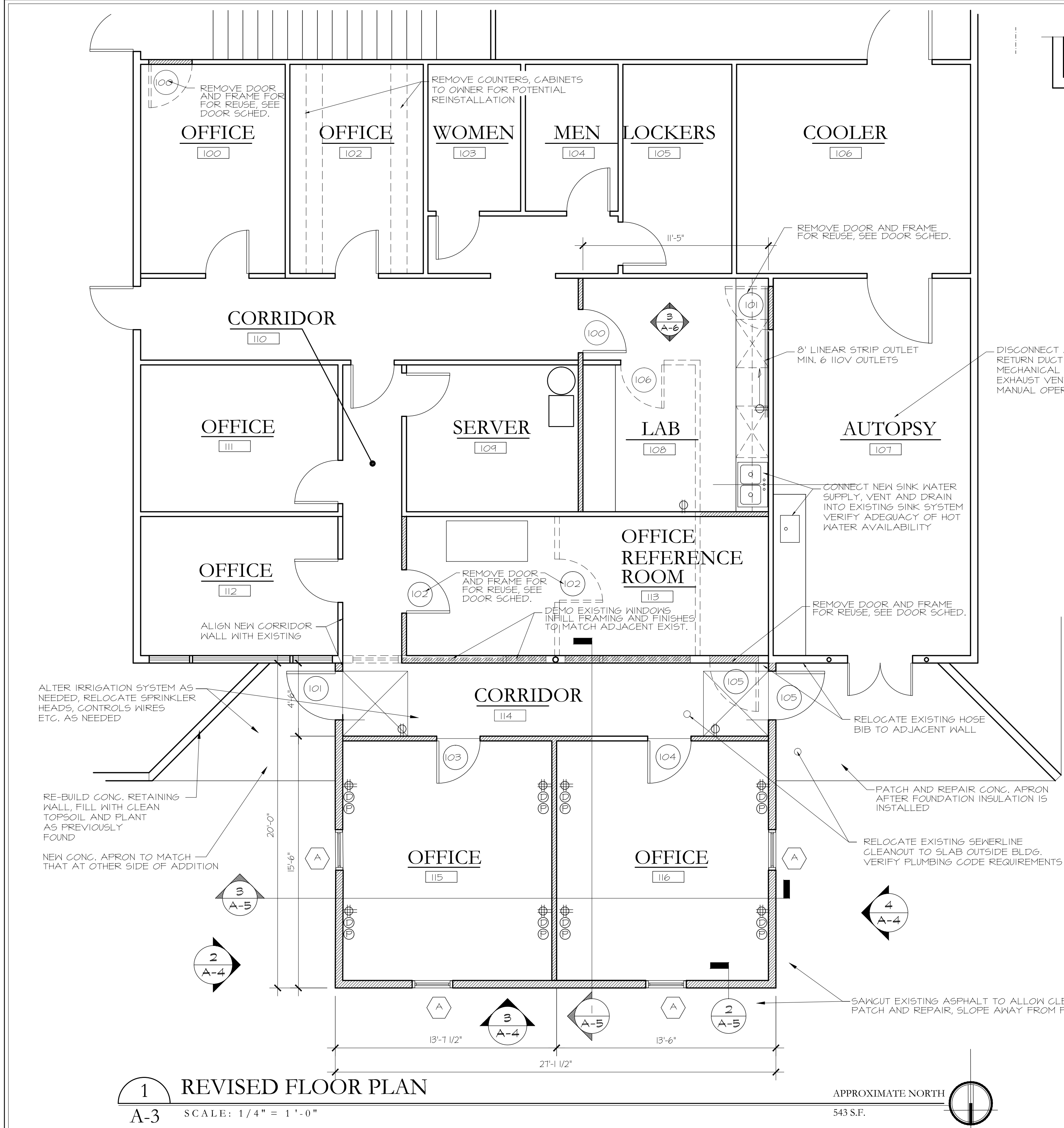
Mechanical :

Electrical :

Plumbing :

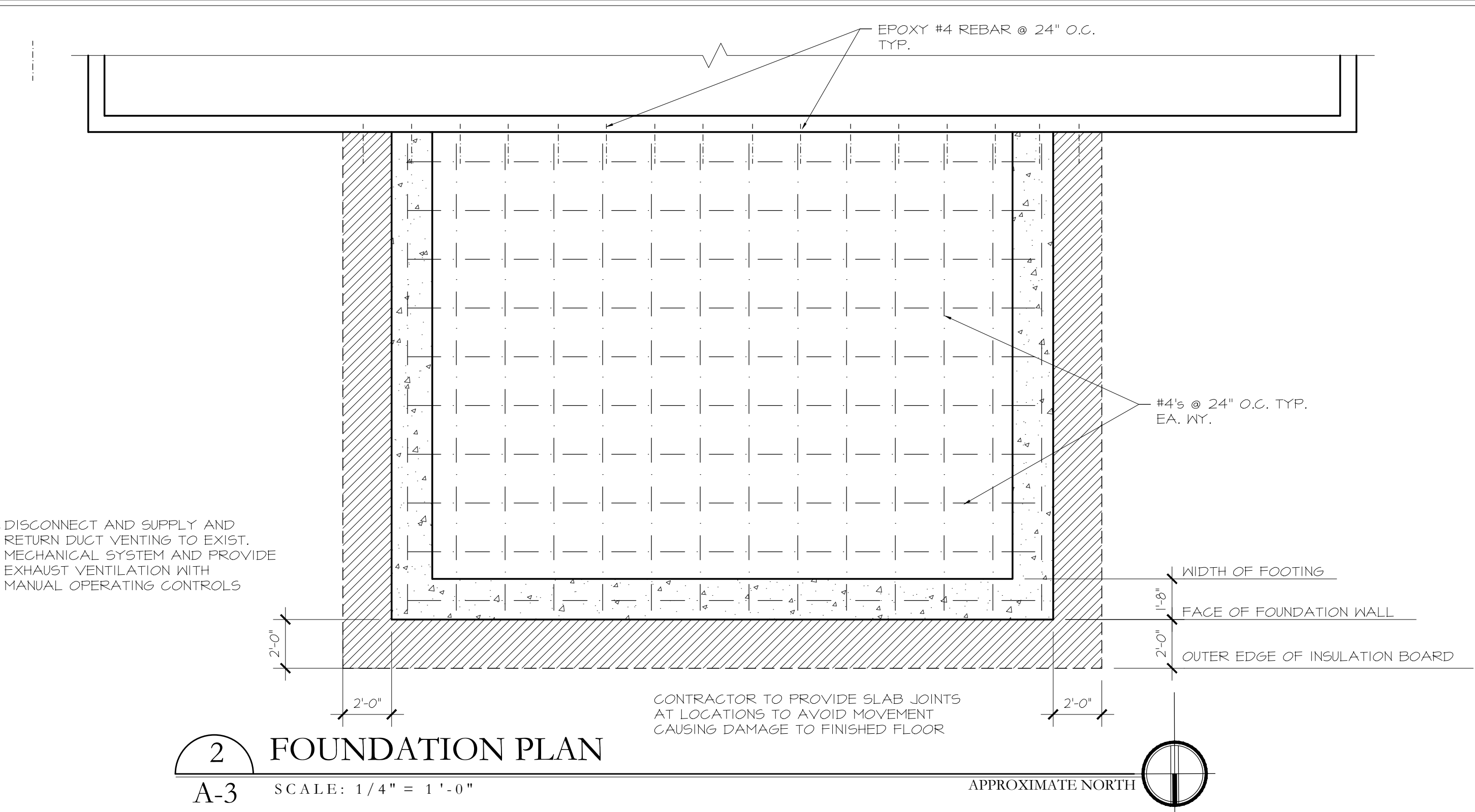
Date : 05 - 16 - 2016  
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Drawn By : Wm. R. N.  
Checked By : Wm. R. N.  
Revisions :

EXISTING BUILDING / FLOOR PLAN  
REVISED BUILDING / FLOOR PLAN



1  
A-3  
REVISED FLOOR PLAN  
SCALE: 1/4" = 1'-0"

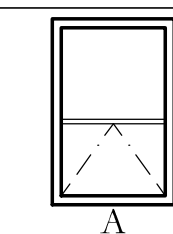
ELECTRICAL SYMBOLS LEGEND		
SYMBOL	DESCRIPTION	REMARKS
	DUPLEX RECEPTACLE	MATCH EXIST, ADJACENT
	QUADRUPLEX RECEPTACLE	MATCH EXIST, ADJACENT
	DATA PORT	MATCH EXIST, ADJACENT
	PHONE JACK	MATCH EXIST, ADJACENT
	SINGLE POLE SWITCH	SEE NUMBER FOR CONNECTED SWITCHES
	THREE WAY SWITCH	VERIFY LOCATION OF CONNECTED SWITCHES
NOTES		
ELECTRICAL CONTRACTOR TO PROVIDE LIGHT FIXTURE INFORMATION, SWITCHING AND OUTLET LOCATIONS AND DIMMER SCHEDULES AS THEY APPLY. ALL PHONE, COMPUTER AND COMMUNICATIONS PORTS TO BE INSTALLED WITH 3/4" EMT AND PULL WIRE. COORDINATE ALL COVER PLATES WITH FWP TECHNICIAN PRIOR TO INSTALLATION.		



2  
A-3  
FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

ROOM FINISH SCHEDULE																
ROOM		FLOOR		BASE		WALLS								CEILINGS		
MARK	NAME	MTL	FIN	MTL	FIN	NORTH		EAST		SOUTH		WEST		MTL	FIN	HT
						MTL	FIN	MTL	FIN	MTL	FIN	MTL	FIN			
100	OFFICE (NOTE #1)	EXIST.	-	-	-	-	-	-	-	-	-	-	-	-	-	-
102	OFFICE (NOTE #1)	CPT	FAC.	VINYL	FAC.	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	-
103	WOMEN (NO WORK)	EXIST.	-	-	-	-	-	-	-	-	-	-	-	-	-	-
104	MEN (NO WORK)	EXIST.	-	-	-	-	-	-	-	-	-	-	-	-	-	-
105	LOCKERS (NO WORK)	EXIST.	-	-	-	-	-	-	-	-	-	-	-	-	-	-
106	COOLER (NO WORK)	EXIST.	-	-	-	-	-	-	-	-	-	-	-	-	-	-
107	AUTOPSY (NOTE #1)	EXIST.	-	-	-	-	-	-	-	-	-	-	-	-	-	-
108	LAB	VCT/SV	FAC.	VINYL	FAC.	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	A/T	FAC	7'-8 1/2"
109	SERVER	EXIST.	-	VINYL	FAC.	-	-	-	-	GWB	PAINT	-	-	EXIST.	-	7'-8 1/2"
110	CORRIDOR (PATCH/REPAIR)	EXIST.	-	-	-	-	-	-	-	-	-	-	-	-	-	-
111	OFFICE	EXIST.	-	-	-	-	-	-	-	-	-	-	-	-	-	-
112	OFFICE	EXIST.	-	-	-	-	-	-	-	-	-	-	-	-	-	-
113	OFFICE	CPT	FAC.	VINYL	FAC.	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	A/T	FAC	7'-8 1/2"
114	CORRIDOR	VCT/SV	FAC.	VINYL	FAC.	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	8'-0"
115	OFFICE	CPT	FAC.	VINYL	FAC.	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	8'-0"
116	OFFICE	CPT	FAC.	VINYL	FAC.	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	8'-0"
1. PATCH AND REPAIR FOR DOOR RELOCATION																

TYPE

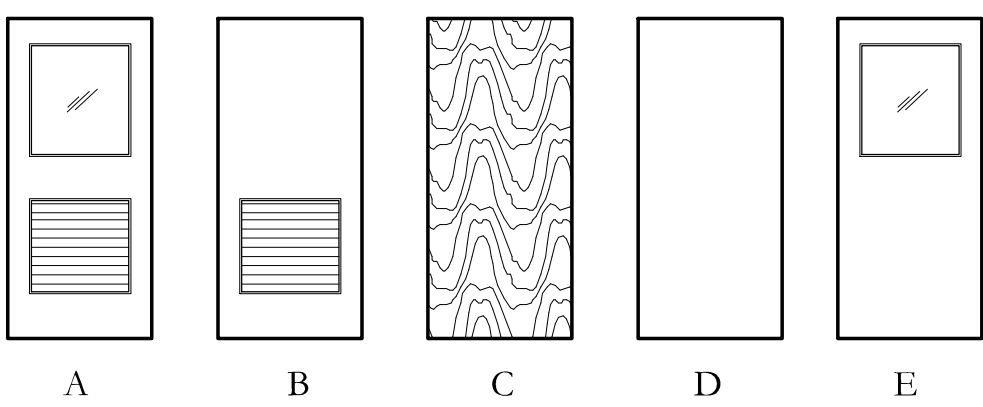


WINDOW SCHEDULE											QTY
MARK	TYPE	SIZE	MATL.	FIN.	FRAME	GLASS	HEAD	SILL	JAMB	REMARKS	
A	CASEMENT	30" x 44"	WD/FBRGLS.	CLAD	WD/FBRGLS.	LOW E	2/A-6	2/A-6	2/A-6	DBL. PANE W/REMOVABLE SCREENS	4
TOTAL											4

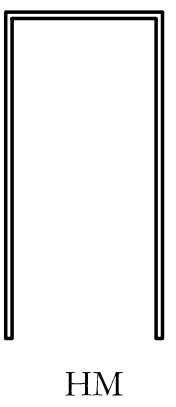
DOOR SCHEDULE

DOOR							HDWARE	GLASS	DETAILS			FRAME	REMARKS
DOOR NO.	SIZE	LABEL	TYPE	THICK	MATL	FINISH							
									GROUP	TYPE	HEAD		
100	3'-0" x 7'-0"	-	B	1 3/4"	WD	S&V	1	NA	1/A-6	1/A-6	1/A-6	HM	RE-USE EXIST. DOOR AND FRAME, REPLACE HARDWARE AS INDICATED
101	3'-0" x 7'-0"	-	D	1 3/4"	MTL	PTD	2	NA	1/A-6	1/A-6	1/A-6	HM	RE-USE EXIST. DOOR AND FRAME, REPLACE HARDWARE AS INDICATED
102	3'-0" x 7'-0"	-	E	1 3/4"	WD	S&V	1	EXIST.	1/A-6	1/A-6	1/A-6	HM	RE-USE EXIST. DOOR AND FRAME, REPLACE HARDWARE AS INDICATED
103	3'-0" x 7'-0"	-	E	1 3/4"	WD	S&V	1	TEMP	1/A-6	1/A-6	1/A-6	HM	NEW DOOR, FINISH TO MATCH EXIST. ADJ.
104	3'-0" x 7'-0"	-	E	1 3/4"	WD	S&V	1	TEMP	1/A-6	1/A-6	1/A-6	HM	NEW DOOR, FINISH TO MATCH EXIST. ADJ.
105	3'-0" x 7'-0"	-	D	1 3/4"	MTL	PTD	2	NA	1/A-6	1/A-6	1/A-6	HM	RE-USE EXIST. DOOR AND FRAME, REPLACE HARDWARE AS INDICATED
106	-	-	-	-	-	-	-	-	-	-	-	HM	SALVAGE TO OWNER

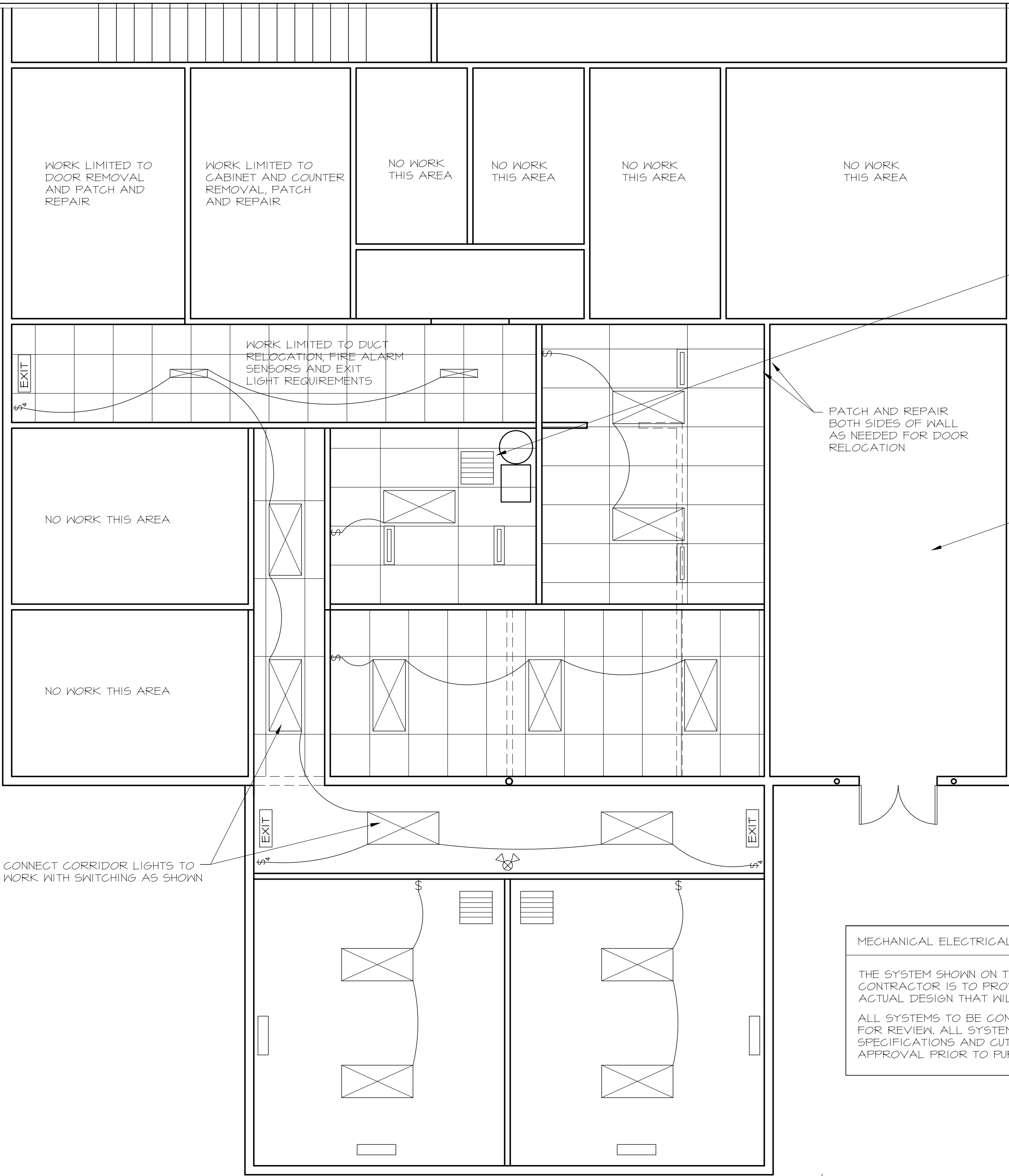
DOOR TYPES



FRAME TYPES







PROVIDE COOLING IN SERVER ROOM FOR TARGET TEMPERATURE OF 65 TO 70 F.

FIRE DETECTORS TO BE RE-LOCATED TO CONFORM TO NEW OFFICE CONFIGURATION

WORK LIMITED TO TERMINATION OF RETURN DUCTS FROM EXISTING MECHANICAL SYSTEM, INSPECT EXISTING SUPPLY AND RETURNS IN AUTOPSY ROOM TO ENSURE SEPARATION FROM OTHER MECHANICAL SYSTEMS, PROVIDE DEDICATED EXHAUST SYSTEM FOR AUTOPSY ROOM PER APPLICABLE CODES

MECHANICAL ELECTRICAL AND PLUMBING

THE SYSTEM SHOWN ON THE DRAWINGS IS PROVIDED FOR INTENT ONLY. THE CONTRACTOR IS TO PROVIDE EQUIPMENT CUT SHEETS IN ADDITION TO THE ACTUAL DESIGN THAT WILL BE SUBMITTED FOR PERMIT.

ALL SYSTEMS TO BE CONTRACTOR DESIGNED AND SUBMITTED TO ARCHITECT FOR REVIEW. ALL SYSTEMS MUST COMPLY WITH CURRENT CODE, PRODUCT SPECIFICATIONS AND CUT SHEETS ARE TO BE PROVIDED WITH DESIGN FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.

LIGHT FIXTURE SCHEDULE		
SYMBOL	DESCRIPTION	REMARKS
A	EMERGENCY LIGHT	CONNECT TO EXISTING SYSTEM
B	4' OR 8' T8 FLOOR, FIXTURE	
C	EXIT LIGHT	CONNECT TO EXISTING SYSTEM
D	UNDER CAB, FLUOR. FIXTURE	
E	4' T-8 or LED FIXTURE	PROVIDE OCCUPANCY SENSOR
L	LIGHT / FAN	PROVIDE OCCUPANCY SENSOR
M	SCONCE LIGHT	PROVIDE OCCUPANCY SENSOR
N	RECESSED CAN LIGHT	6" Ø LED FIXTURE WITH WHITE PAINTED FLANGE TRIM, PROVIDE OCCUPANCY SNEOSR

NOTES

ELECTRICAL SYMBOLS LEGEND		
SYMBOL	DESCRIPTION	REMARKS
⌀	DUPLEX RECEPTACLE	
⌀	QUADRAPLEX RECEPTACLE	
⌀	DATA PORT	
⌀	PHONE JACK	
\$	SINGLE POLE SWITCH	SEE NUMBER FOR CONNECTED SWITCHES
\$	THREE WAY SWITCH	VERIFY LOCATION OF CONNECTED SWITCHES

NOTES

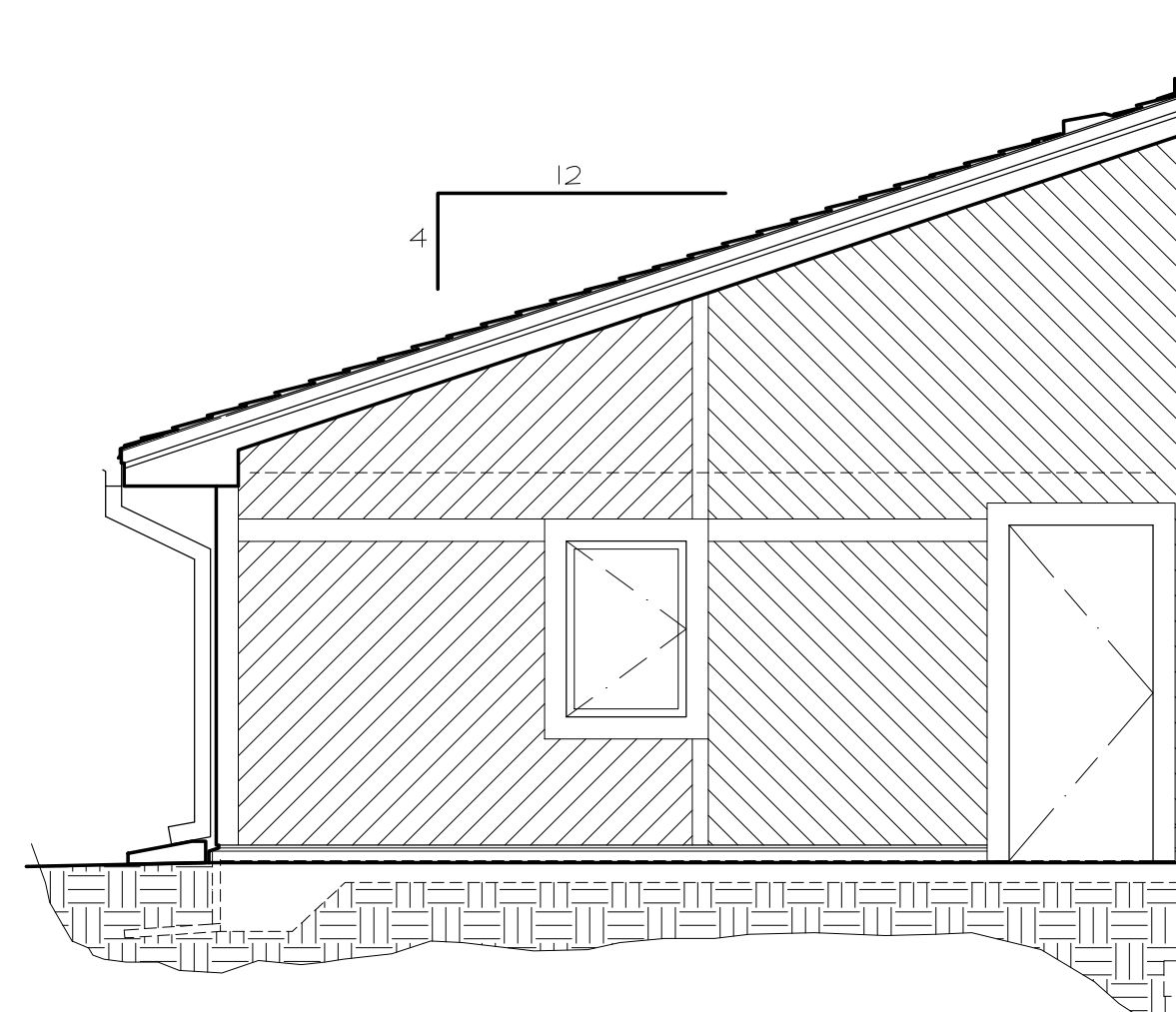
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MECHANICAL SYMBOLS LEGEND		
SYMBOL	DESCRIPTION	REMARKS
⌂	RETURN AIR	
⌂	SUPPLY AIR	

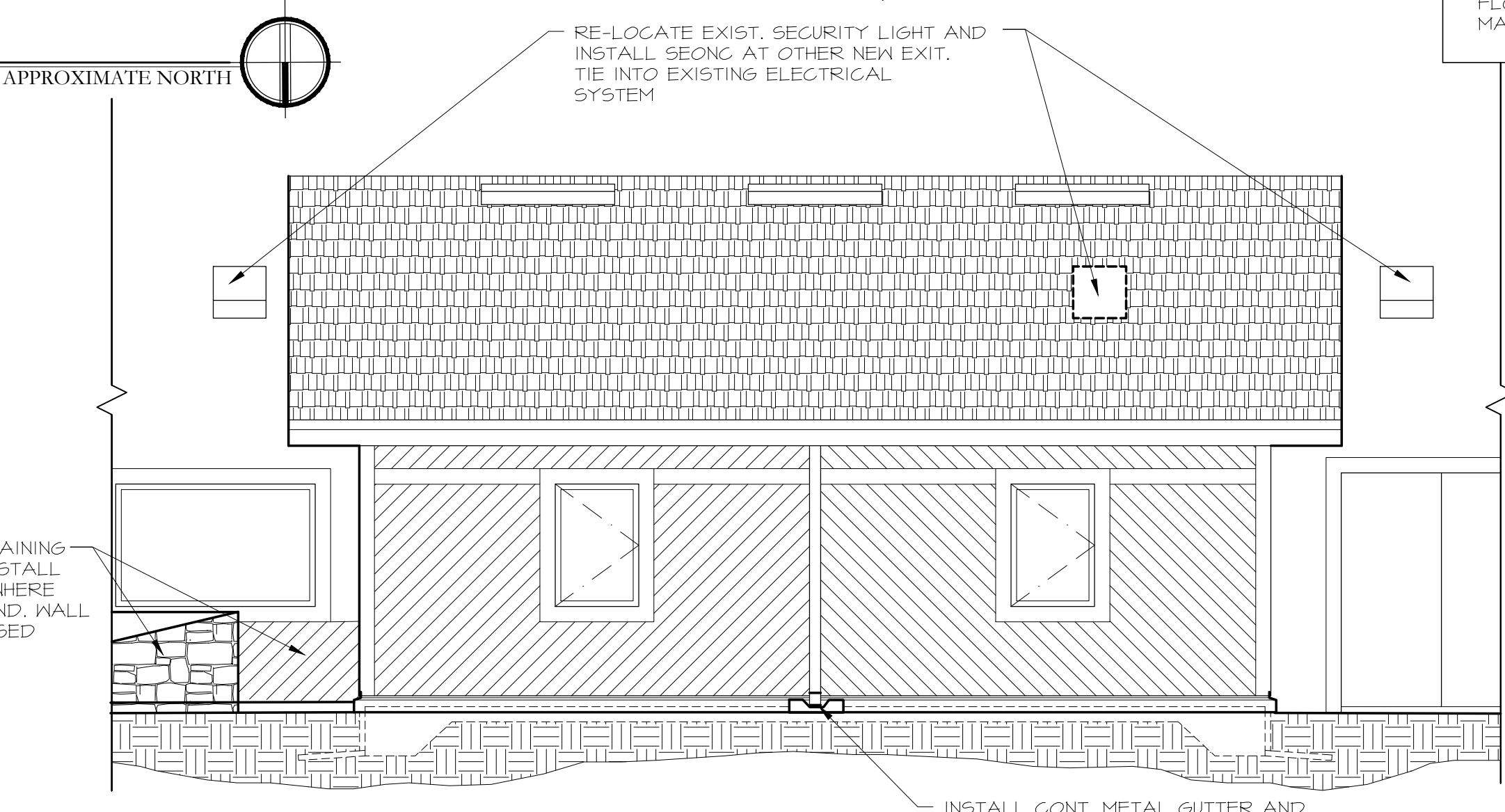
NOTES

MECHANICAL CONTRACTOR TO PROVIDE DESIGN SUBMITTAL WITH ALL EQUIPMENT SPECIFIED, EXISTING MECHANICAL SYSTEM AND CONTROLS TO BE RECONFIGURED TO ACCOMMODATE REVISED FLOOR PLAN, SERVER ROOM TO RECEIVE COOLING FOR IDEAL DESIGN TEMPERATURE OF 70°F MAX. ALL OTHER SPACES TO APPROACH IDEAL TEMP. RANGE OF 72 TO 75 DEGREE F.

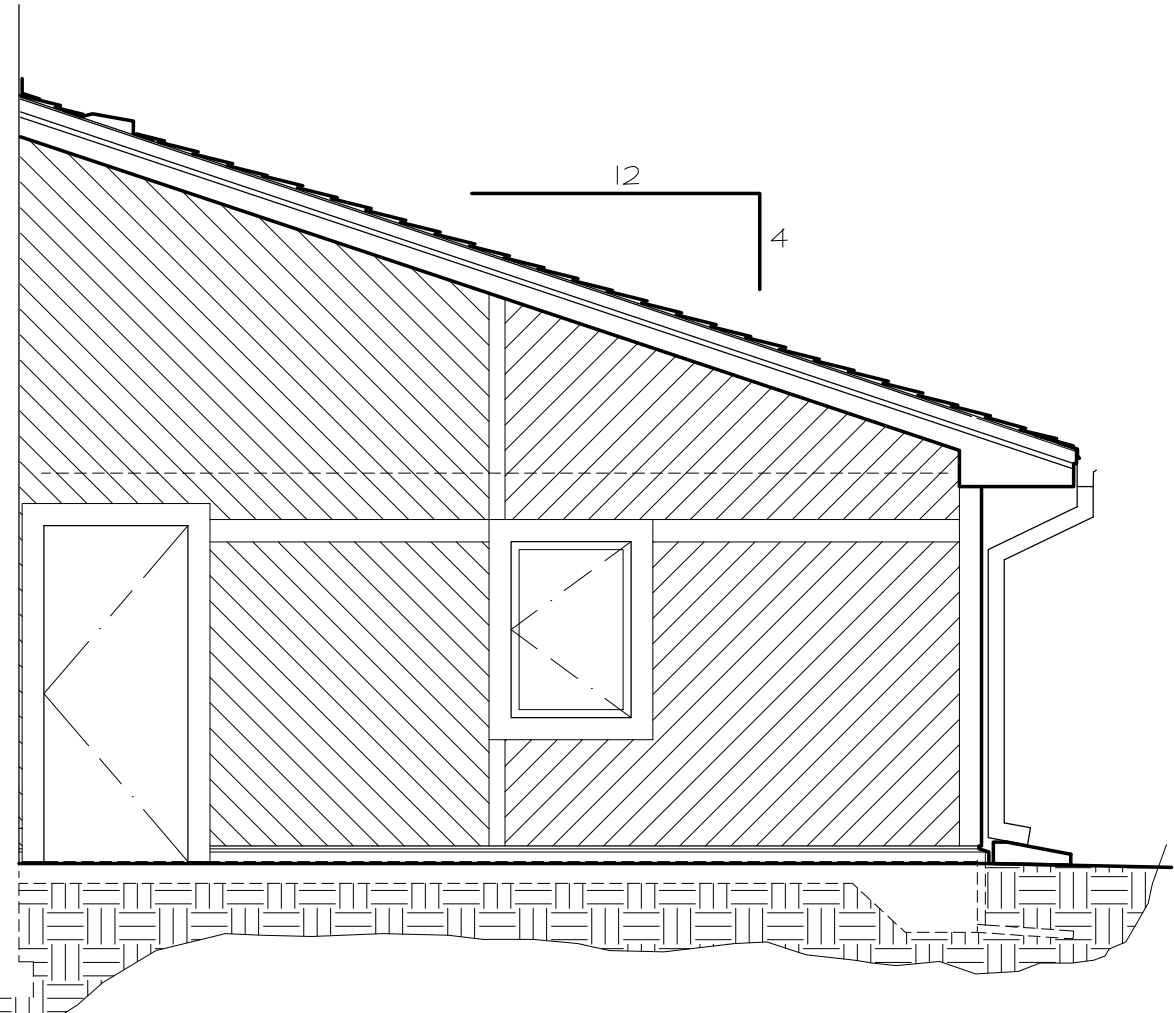
1 REFLECTED CEILING PLAN  
A-4 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION  
A-4 SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION  
A-4 SCALE: 1/4" = 1'-0"



4 EAST ELEVATION  
A-4 SCALE: 1/4" = 1'-0"

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Architecture : Planning : Consulting

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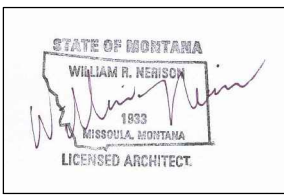
Plumbing :

Date : 05 - 16 - 2016  
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Drawn By : Wm. R. N.  
Checked By : Wm. R. N.  
Revisions :

REFLECTED CEILING PLAN  
SCHEDULES AND EXTERIOR  
ELEVATIONS

A - 4  
of  
6





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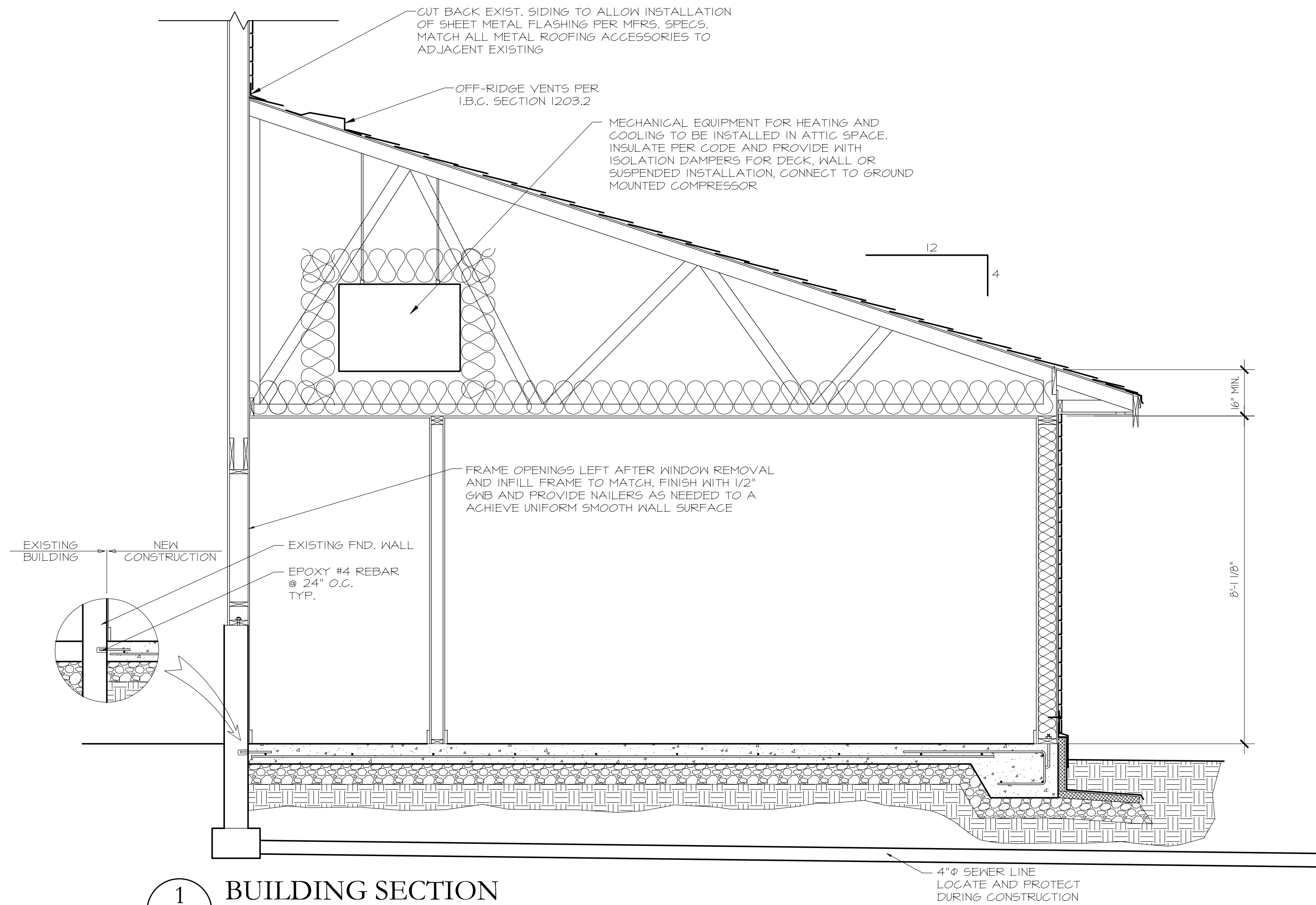
Drawn By : Wm. R. N.

Checked By : Wm. R. N.

Revisions :

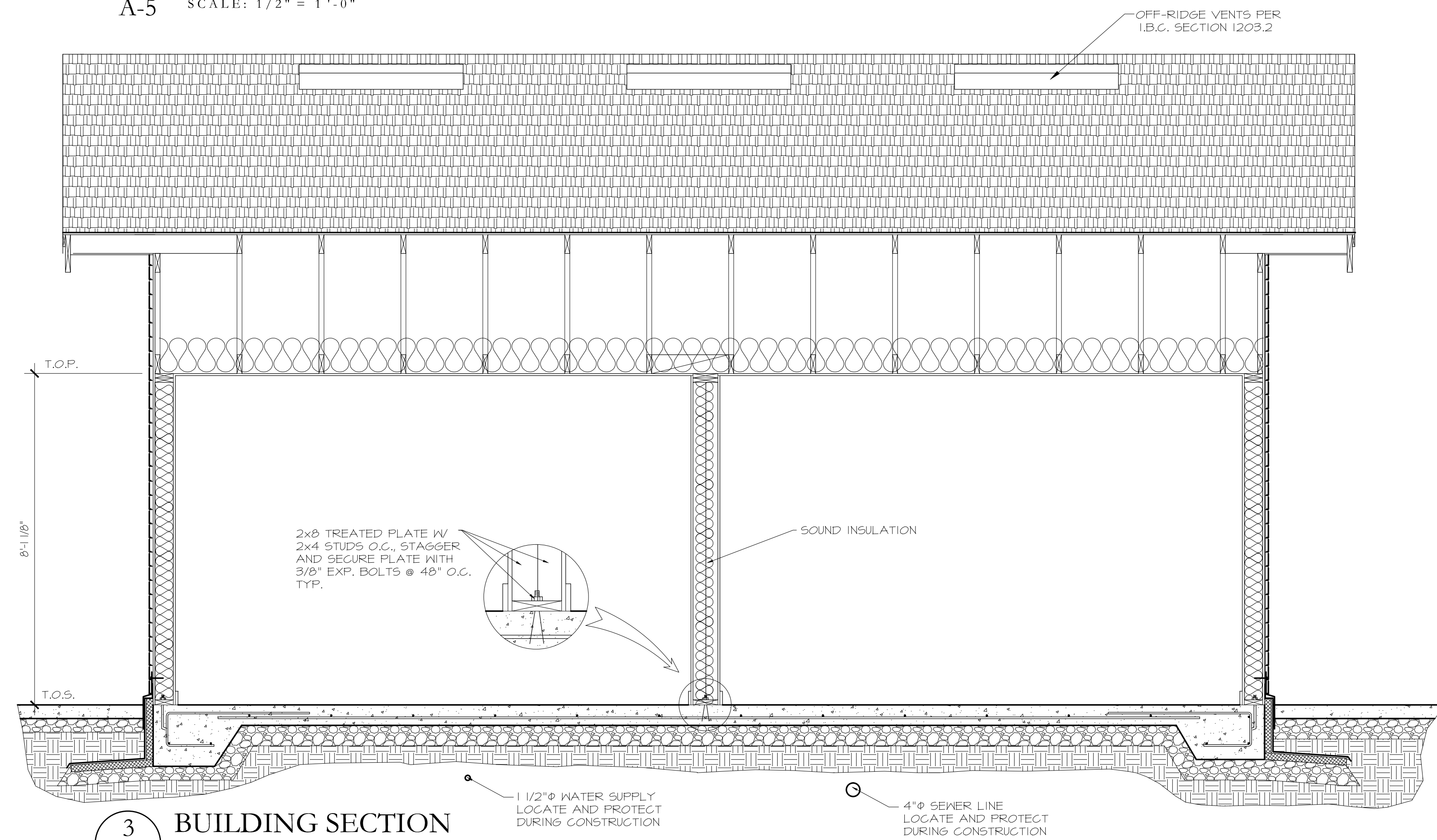
BUILDING SECTIONS  
WALL AND FOUNDATION DETAILS

A - 5  
of  
6



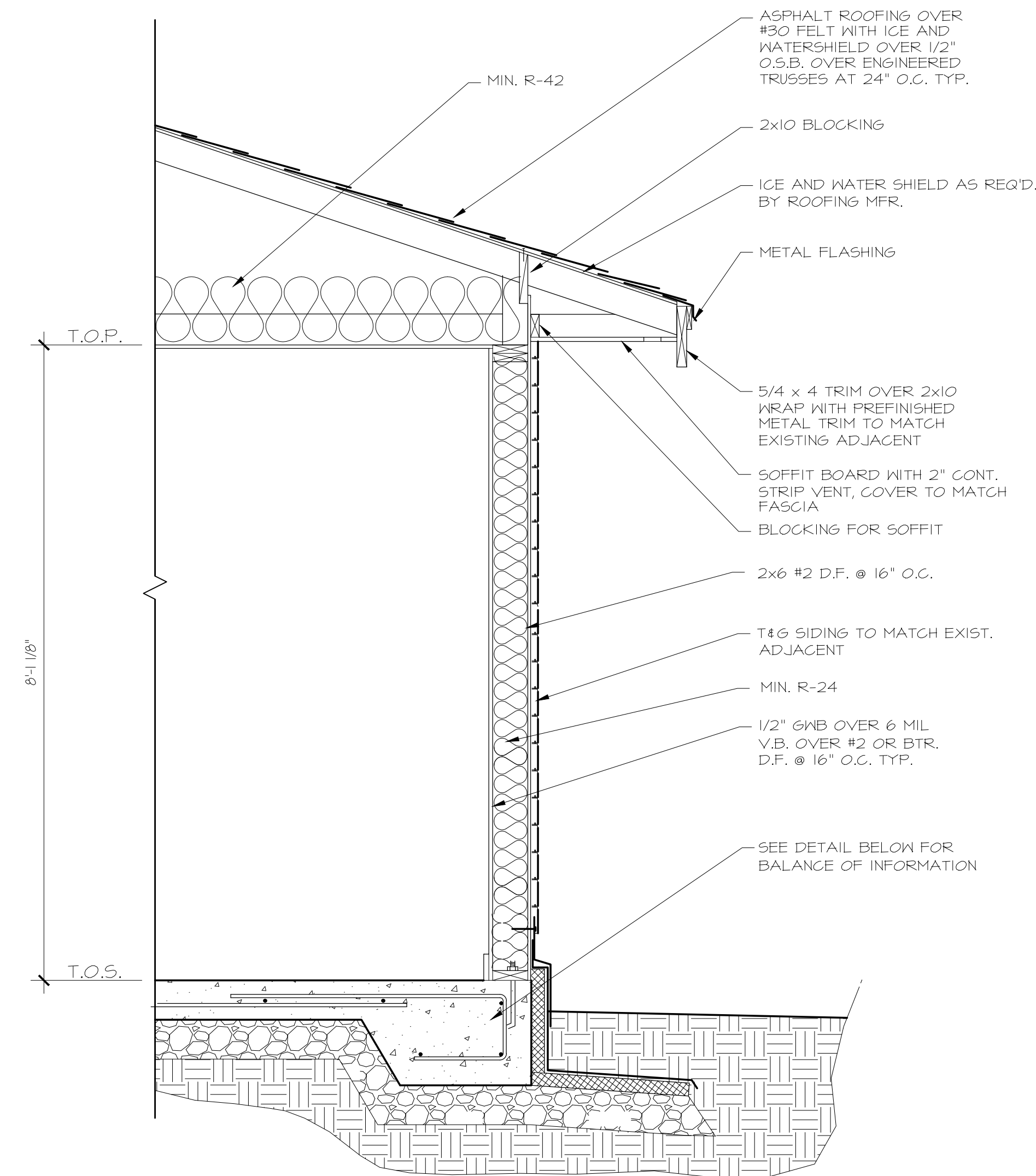
1 BUILDING SECTION

A-5 SCALE: 1/2" = 1'-0"



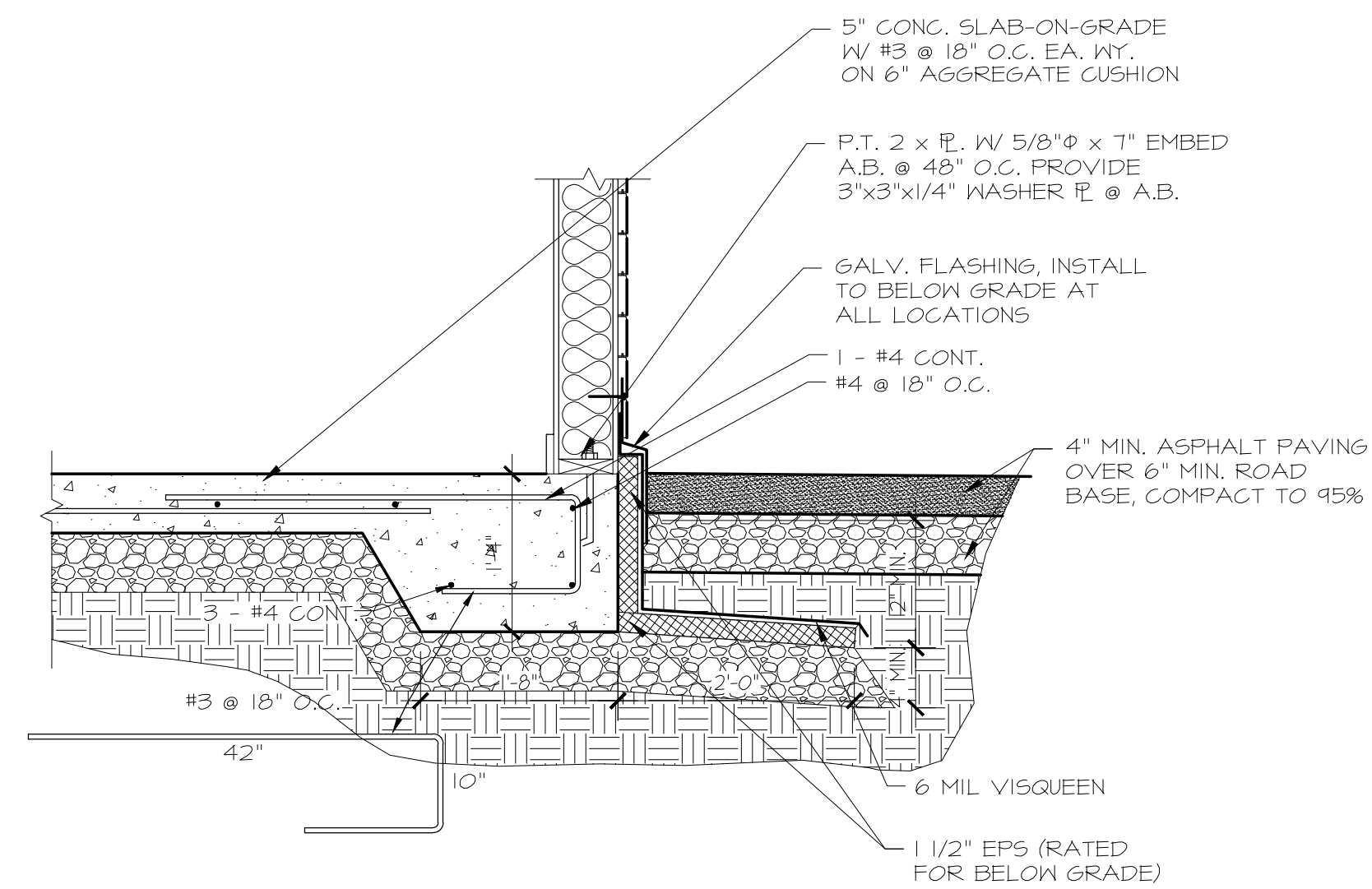
3 BUILDING SECTION

A-5 SCALE: 1/4" = 1'-0"



2 TYPICAL WALL SECTION

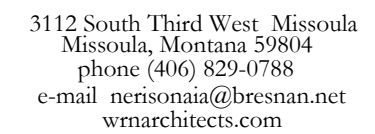
A-5 SCALE: 3/4" = 1'-0"



4 FOUNDATION DETAIL

A-5 SCALE: 3/4" = 1'-0"

Architecture : Planning : Consulting



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lab building remodel for :

structural :

— 1 —

---

Drawn By : W

TABLE

B1

11

IS

A

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EXTERIOR

JAMB

SILL



## INTERIOR

A-6 SCALE: N.T.S.



SILL

JAMB

A-6 SCALE: N.T.S.



### CABINET ELEVATION AT LAB COUNTER

A-6 SCALE: 3 / 4" = 1' - 0"